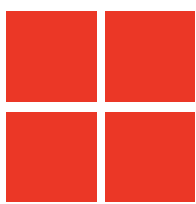


BLACKFALDS CIVIC CENTRE - UPPER LEVEL RENOVATION

5018 Waghorn St, Blackfalds, AB T0M 0J0
2026-05-22 ISSUED FOR PRICING

PRIME CONSULTANT

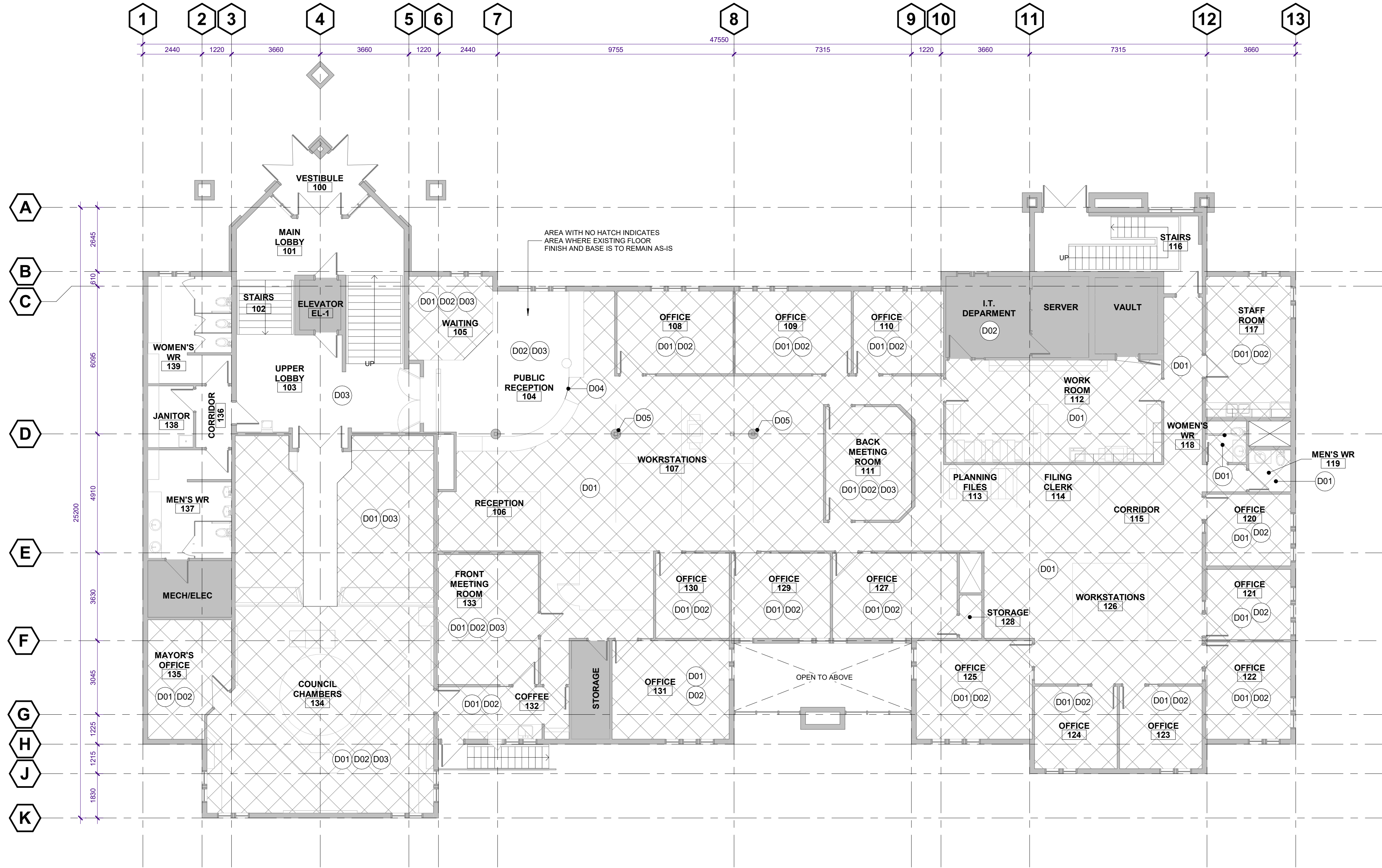
ARCHITECTURAL

ACI

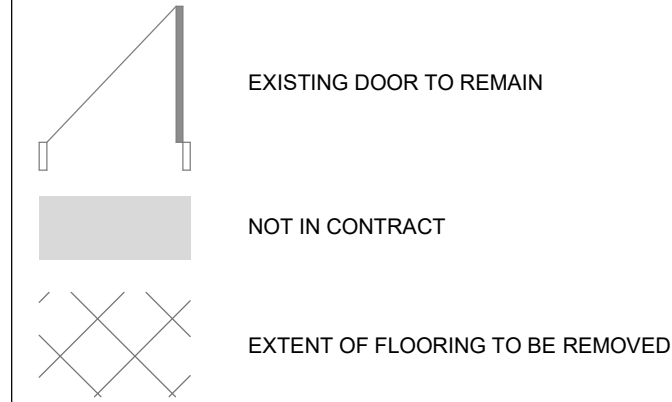
17225 102 AVE NW
EDMONTON, ALBERTA
T5S 1J8

TELEPHONE: 780.486.6400
www.aci-arch.com

A000	COVER PAGE
A210	UPPER LEVEL - DEMO PLAN
A220	LOWER LEVEL - WALL & CEILING FINISH PLAN
A230	UPPER LEVEL - FLOOR FINISH PLAN
A240	UPPER LEVEL - WALL & CEILING FINISH PLAN



DEMOLITION LEGEND



GENERAL DEMOLITION NOTES

- ALL EXISTING WALLS, FLOORS, CEILINGS ETC. WHICH ARE TO REMAIN AS A SUBSTRATE FOR NEW FINISHES ARE TO BE REWORKED AS REQUIRED TO PROVIDE A LEVEL AND PROPER SURFACE FOR ACCEPTING NEW FINISHES ACCORDING TO INDUSTRY STANDARDS AND MANUFACTURER'S INSTALLATION REQUIREMENTS.
- PROTECT ALL EXISTING FINISHES TO REMAIN, INCLUDING MILLWORK DURING ALL DEMOLITION.
- PATCH AND REPAIR ALL HOLES LEFT FROM THE REMOVAL OF EXISTING ACCESSORIES, WHITEBOARDS/TACKBOARDS, FITTINGS, EQUIPMENT, SIGNAGE TO MAKE READY FOR NEW FINISHES.

DEMOLITION KEYNOTES

- D01 REMOVE FLOOR FINISH, ASSOCIATED SUBSTRATES, AND RUBBER BASE (INCLUDING FROM MILLWORK TOE KICKS) IN ITS ENTIRETY; LEVEL AND PREPARE TO RECEIVE NEW FINISHES.
D02 REMOVE ROLLER SHADES.
D03 REMOVE VINYL WALL COVERING, PATCH AND REPAIR WALL TO RECEIVE NEW PAINT.
D04 REMOVE CARPET INSERT FROM BASE OF MILLWORK GATE.
D05 REMOVE CARPET FROM BASE OF ROUND COLUMNS.

1 UPPER LEVEL - DEMO PLAN
SCALE 1 : 100

Issues/Revisions			
No.	Description	Date	By
1	ISSUED FOR PRICING	26/05/22	

Seal

Permit to Practice

Client

Project

BLACKFALDS CIVIC CENTRE - UPPER LEVEL RENOVATION

Scale	As indicated	Designed By	DH
Project No.	26002	Drawn By	BM
Start Date	MAY 22, 2026	Checked By	DH

Drawing Title

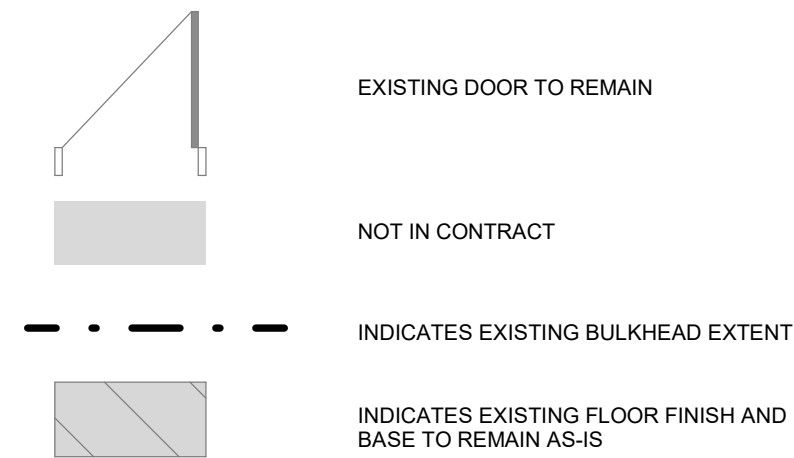
UPPER LEVEL - DEMO PLAN

Drawing No.

A210

Notes
* Do not scale drawings.
* It is the responsibility of the Contractor to check and verify all dimensions on site and report all errors and/or omissions to the Architect or Engineers.
* It is the responsibility of the appropriate Contractor to comply with all Codes and Regulations applicable to the performance of their work.
* All Drawings and Specifications are instruments of service and are the property of the Architect or Engineer. This Drawing is the Copyright of ACI ARCHITECTURE INC or the Consultant named on this Drawing as at the date shown and may not be used or reproduced in whole or in part without the express written consent of the Architect or Engineer.

RENOVATION LEGEND



GENERAL RENOVATION NOTES

- NEW PAINT (PT1 - UNLESS NOTED OTHERWISE ON SHEET A220 & A240) TO ALL WALLS WITHIN PROJECT SCOPE. PAINT WALL MOUNTED MECHANICAL ITEMS SUCH AS HEATING UNITS TO MATCH WALL COLOR.
- PAINT ALL EXISTING METAL FRAMES (WITHIN PROJECT SCOPE) PT3. PAINT ALL EXISTING METAL DOORS (WITHIN PROJECT SCOPE) PT5. DOORS AND FRAMES TO BE PAINTED BOTH SIDES UNO - INCLUDES ELEVATOR DOOR AND FRAME.
- ALL WOOD DOORS AND WOOD FRAMES TO REMAIN AS-IS (DO NOT PAINT).
- ALL WOOD CHAIR RAILS TO REMAIN AS-IS (DO NOT PAINT).
- ALL WOOD CEILING DECK AND BEAMS TO REMAIN AS-IS (DO NOT PAINT).
- ALL PORCELAIN FLOOR TILE, WALL TILE, AND BASE TO REMAIN AS-IS
- ALL CEILINGS TO REMAIN AS-IS EXCEPT WHERE NEW PAINT IS REQUIRED - AS NOTED ON SHEET A220 & A240).
- NEW RUBBER BASE TO BE PROVIDED IN AREAS RECEIVING NEW FLOORING, INCLUDING TO FACE OF EXISTING MILLWORK TOE-KICKS.
- FLOORING AND BASE MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WITH RECOMMENDED ADHESIVES.
- ALL FLOOR FINISHES TO CONTINUE BELOW EQUIPMENT, APPLIANCES, AND OPEN MILLWORK LOCATIONS.
- ENSURE NEW FLOORING MAINTAINS A LEVEL TRANSITION AT ALL ADJACENT NEW AND EXISTING FLOOR FINISH LOCATIONS.
- PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOORING MATERIALS. TRANSITION STRIP TO BE RUBBER IN A COLOR MATCHING THE SPECIFIED RUBBER BASE.
- CONTRACTOR TO PREPARE ALL EXISTING SURFACES TO RECEIVE NEW PAINT. PAINTED SURFACES TO BE PRIMED (LATEX) AND MINIMUM OF TWO (2) COATS OF LATEX PAINT TO BE APPLIED. PAINTED SURFACES REJECTED BY THE REVIEWER (ACCORDING TO MPI QUALITY STANDARDS) WILL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR.
- PROTECT ALL EXISTING FINISHES TO REMAIN, INCLUDING MILLWORK DURING ALL DEMOLITION AND EXECUTION OF NEW WORK.
- TOWN OF BLACKFALDS TO ORGANIZE ALL MOVING OF FURNITURE AND REMOVAL OF WALL-MOUNTED ITEMS (INCLUDING INTERIOR SIGNAGE) AND RE-INSTALL. CONTRACTOR TO REPAIR WALL SURFACES AND PREPARE WALLS FOR NEW PAINT.
- CONTRACTOR TO COORDINATE WITH THE TOWN OF BLACKFALDS ALL CONSTRUCTION COORDINATION ITEMS INCLUDING BUT NOT LIMITED TO: HOURS OF WORK, LAY DOWN MATERIAL STORAGE, PHASING OF WORK, CONSTRUCTION WASTE DISPOSAL ETC.
- CONTRACTOR TO PROVIDE A MINIMUM OF 10% MAINTENANCE STOCK OF MATERIALS TO OWNER FOR FUTURE USE.

RENOVATION KEYNOTES

- R05 STONE WALL CLADDING TO REMAIN AS-IS (DO NOT PAINT)
R06 WALL MOUNTED ARTWORK TOWN OF BLACKFALDS TO ADVISE ON ART PIECE AND HOW SCOPE OF WORK IN THIS LOCATION IS TO BE EXECUTED. DO NOT EXECUTE WORK OR TOUCH ART PIECE UNTIL THIS HAS BEEN COORDINATED.
R07 PAINT ABOVE EXISTING WALL TILE.
R09 PAINT METAL HANDRAILS PT3
R10 PAINT METAL STAIR STRINGERS AND RISERS PT5
R11 PAINT BULKHEADS/COVES (ALL SIDES) PT5

Issues/Revisions			
No.	Description	Date	By
1	ISSUED FOR PRICING	26/05/22	

Seal

Permit to Practice

Client

Project

BLACKFALDS CIVIC CENTRE - UPPER LEVEL RENOVATION

Scale	As indicated	Designed By	DH
Project No.	26002	Drawn By	BM
Start Date	MAY 22, 2026	Checked By	DH

Drawing Title

LOWER LEVEL - WALL & CEILING FINISH PLAN

Drawing No.

A220



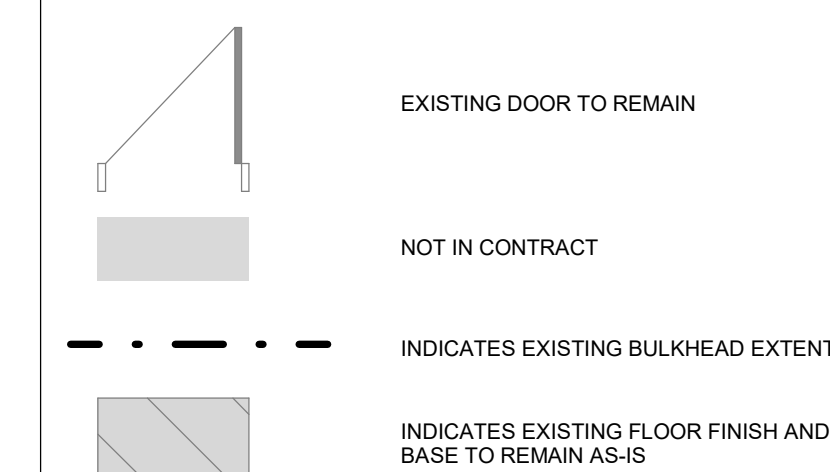
LOWER LEVEL - WALL & CEILING FINISH PLAN
SCALE 1 : 100





UPPER LEVEL - FLOOR FINISH PLAN
 SCALE 1 : 100

RENOVATION LEGEND



GENERAL RENOVATION NOTES

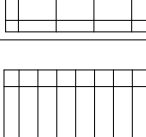
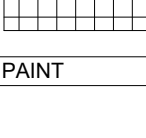
1. NEW PAINT (PT-) UNLESS NOTED OTHERWISE ON SHEET A220 & A240) TO ALL WALLS WITHIN PROJECT SCOPE. PAINT WALL MOUNTED MECHANICAL ITEMS SUCH AS HEATING UTENSILS TO MATCH WALL COLOR.
2. PAINT ALL EXISTING METAL FRAMES (WITHIN PROJECT SCOPE) PT3. PAINT ALL EXISTING METAL DOORS (WITHIN PROJECT SCOPE) PT5. DOORS AND FRAMES TO BE PAINTED BOTH SIDES UN- INCLUDES ELEVATOR DOOR AND FRAME.
4. ALL WOOD DOORS AND WOOD FRAMES TO REMAIN AS-IS (DO NOT PAINT).
4. ALL WOOD CHAIR RAILS TO REMAIN AS-IS (DO NOT PAINT).
4. ALL WOOD CEILING DECK AND BEAMS TO REMAIN AS-IS (DO NOT PAINT).
4. ALL PORCELAIN FLOOR TILE, WALL TILE, AND BASE TO REMAIN AS-IS
4. ALL CEILINGS TO REMAIN AS-IS EXCEPT WHERE NEW PAINT IS REQUIRED - AS NOTED ON SHEET A220 & A240).
5. NEW RUBBER BASE TO BE PROVIDED IN AREAS RECEIVING NEW FLOORING, INCLUDING TO FACE OF EXISTING MILLWORK TIE-KICKS.
5. FLOORING AND BASE MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WITH RECOMMENDED ADHESIVES.
4. ALL FLOOR FINISHES TO CONTINUE BEFORE EQUIPMENT, APPLIANCES, AND OPEN MILLWORK LOCATIONS.
1. ENSURE NEW FLOORING MAINTAINS A LEVEL TRANSITION AT ALL ADJACENT NEW AND EXISTING FLOOR FINISH LOCATIONS.
2. PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOORING MATERIALS. TRANSITION STRIP TO BE RUBBER IN A COLOR MATCHING THE SPECIFIED RUBBER BASE.
3. CONTRACTOR TO PREPARE ALL EXISTING SURFACES TO RECEIVE NEW PAINT. PAINTED SURFACES TO BE PRIMED (LATEX) AND MINIMUM OF TWO (2) COATS OF LATEX PAINT TO BE APPLIED. PAINTED SURFACES REJECTED BY THE REVIEWER (ACCORDING TO MPI QUALITY STANDARDS) WILL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR.
4. PROTECT ALL EXISTING FINISHES TO REMAIN, INCLUDING MILLWORK DURING ALL DEMOLITION AND EXECUTION OF NEW WORK.
5. TOWN OF BLACKFALDS TO ORGANIZE ALL MOVING OF FURNITURE AND REMOVAL OF WALL-MOUNTED ITEMS (INCLUDING INTERIOR SIGNAGE) AND RE-INSTALL. CONTRACTOR TO REPAIR WALL SURFACES AND PREPARE WALLS FOR NEW PAINT.
6. CONTRACTOR TO COORDINATE WITH THE TOWN OF BLACKFALDS ALL CONSTRUCTION COORDINATION ITEMS INCLUDING BUT NOT LIMITED TO: HOURS OF WORK, IN-Y-DOWNING, MATERIAL STORAGE, PHASING OF WORK, CONSTRUCTION WASTE DISPOSAL ETC.
7. CONTRACTOR TO PROVIDE A MINIMUM OF 1% MAINTENANCE STOCK OF MATERIALS TO OWNER FOR FUTURE USE.

RENOVATION KEYNOTES

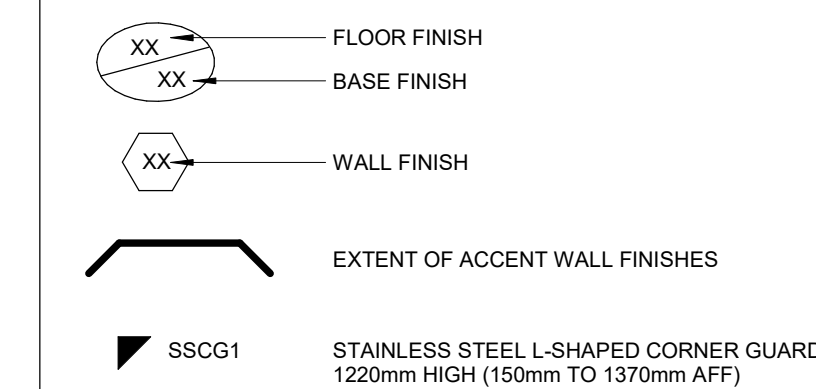
R03 NEW FLOOR FINISH AND RUBBER BASE (INCLUDING MILLWORK TOE-KICKS)

FINISH SCHEDULE

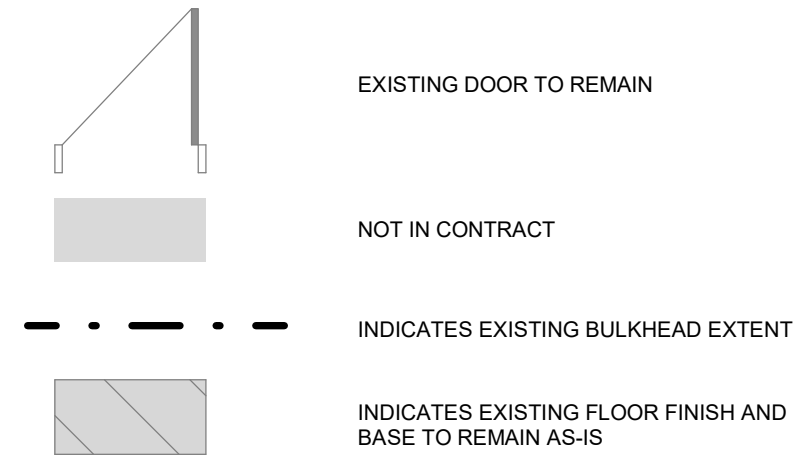
APPLIES TO ALL FINISH DRAWINGS

APPLIES TO ALL FINISH DRAWINGS			
HATCH	TAG	DESCRIPTION	REMARKS
	CP1T	INTERFACE, AERIAL COLLECTION, AE310 COLOUR: FOG 104622 SIZE: 500mm x 500mm SQUARE	
	CP1T2	INTERFACE, AERIAL COLLECTION, AE311 COLOUR: SMOKE 104674 SIZE: 250mm x 1000mm PLANK	
			
PAINT	PT1	BENJAMIN MOORE COLOUR: TAPESTRY BEIGE OC-32 FINISH: EGGSHELL	FIELD
	PT2	SHERWIN WILLIAMS COLOUR: ACIER SW 9170 FINISH: EGGSHELL	ACCENT
	PT3	SHERWIN WILLIAMS COLOUR: GRAYN'LET GRAY SW 7019 FINISH: SEMI-GLOSS	METAL DOOR & FRAMES / ACCESS
	PT4	SHERWIN WILLIAMS COLOUR: PURE WHITE SW 7005 FINISH: FLAT	NOT USED
	PT5	SHERWIN WILLIAMS COLOUR: REPOSE GRAY SW 7015 FINISH: EGGSHELL	
RESILIENT SHEET FLOORING			
	RSF1	TARNETT, LG ORANT COLOUR: LIGHT WARM GREY 21030 879	
RUBBER BASE			
	RB1	JOHNSONITE COLOUR: MONOPOLY 99	

FINISH PLAN LEGEND



RENOVATION LEGEND



GENERAL RENOVATION NOTES

- NEW PAINT (PT1 - UNLESS NOTED OTHERWISE ON SHEET A220 & A240) TO ALL WALLS WITHIN PROJECT SCOPE. PAINT WALL MOUNTED MECHANICAL ITEMS SUCH AS HEATING UNITS TO MATCH WALL COLOR.
- PAINT ALL EXISTING METAL FRAMES (WITHIN PROJECT SCOPE) PT3. PAINT ALL EXISTING METAL DOORS (WITHIN PROJECT SCOPE) PT5. DOORS AND FRAMES TO BE PAINTED BOTH SIDES UNO - INCLUDES ELEVATOR DOOR AND FRAME.
- ALL WOOD DOORS AND WOOD FRAMES TO REMAIN AS-IS (DO NOT PAINT).
- ALL WOOD CHAIR RAILS TO REMAIN AS-IS (DO NOT PAINT).
- ALL WOOD CEILING DECK AND BEAMS TO REMAIN AS-IS (DO NOT PAINT).
- ALL PORCELAIN FLOOR TILE, WALL TILE, AND BASE TO REMAIN AS-IS.
- ALL CEILINGS TO REMAIN AS-IS EXCEPT WHERE NEW PAINT IS REQUIRED - AS NOTED ON SHEET A220 & A240.
- NEW RUBBER BASE TO BE PROVIDED IN AREAS RECEIVING NEW FLOORING, INCLUDING TO FACE OF EXISTING MILLWORK TOE-KICKS.
- FLOORING AND BASE MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WITH RECOMMENDED ADHESIVES.
- ALL FLOOR FINISHES TO CONTINUE BELOW EQUIPMENT, APPLIANCES, AND OPEN MILLWORK LOCATIONS.
- ENSURE NEW FLOORING MAINTAINS A LEVEL TRANSITION AT ALL ADJACENT NEW AND EXISTING FLOOR FINISH LOCATIONS.
- PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOORING MATERIALS. TRANSITION STRIP TO BE RUBBER IN A COLOR MATCHING THE SPECIFIED RUBBER BASE.
- CONTRACTOR TO PREPARE ALL EXISTING SURFACES TO RECEIVE NEW PAINT. PAINTED SURFACES TO BE PRIME (LATEX) AND MINIMUM OF TWO (2) COATS OF LATEX PAINT TO BE APPLIED. PAINTED SURFACES REJECTED BY THE REVIEWER (ACCORDING TO MPI QUALITY STANDARDS) WILL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR.
- PROTECT ALL EXISTING FINISHES TO REMAIN, INCLUDING MILLWORK DURING ALL DEMOLITION AND EXECUTION OF NEW WORK.
- TOWN OF BLACKFALDS TO ORGANIZE ALL MOVING OF FURNITURE AND REMOVAL OF WALL-MOUNTED ITEMS (INCLUDING INTERIOR SIGNAGE) AND RE-INSTALL CONTRACTOR TO REPAIR WALL SURFACES AND PREPARE WALLS FOR NEW PAINT.
- CONTRACTOR TO COORDINATE WITH THE TOWN OF BLACKFALDS ALL CONSTRUCTION COORDINATION ITEMS INCLUDING BUT NOT LIMITED TO: HOURS OF WORK, LAY-DOWN/MATERIAL STORAGE, PHASING OF WORK, CONSTRUCTION WASTE DISPOSAL ETC.
- CONTRACTOR TO PROVIDE A MINIMUM OF 10% MAINTENANCE STOCK OF MATERIALS TO OWNER FOR FUTURE USE.

RENOVATION KEYNOTES

- R01 SUPPLY AND INSTALL ONE (1) 1220mm X 2440mm LOW-GLOSS, MAGNETIC WHITEBOARD WITH ALUMINUM TRIM AND PEN RAIL THE LENGTH OF WHITEBOARD. QTY OF (2) TOTAL IN PROJECT SCOPE. LOCATION WITHIN ROOM TO BE CONFIRMED WITH OWNER PRIOR TO INSTALLATION.
- R02 SUPPLY AND INSTALL FROSTED FILM TO DOOR GLAZING AND SIDELITE IN PATTERN SHOWN ON SHEET A240 - FILM TO BE OPAQUE WHITE AND MINIMUM OF 2mm THICK. LOCATIONS SHOWN ON SHEET A240, CONTRACTOR TO CONFIRM DIMENSIONS.
- R03 NEW FLOOR FINISH AND RUBBER BASE (INCLUDING MILLWORK TOE-KICKS) NOT USED.
- R04 STONE WALL CLADDING TO REMAIN AS-IS (DO NOT PAINT).
- R05 WALL-MOUNTED ARTWORK/TOWN OF BLACKFALDS TO ADVISE ON ART PIECE AND HOW SCOPE OF WORK IN THIS LOCATION IS TO BE EXECUTED. DO NOT EXECUTE WORK OR TOUCH ART PIECE UNTIL THIS HAS BEEN COORDINATED.
- R06 PAINT ABOVE EXISTING WALL TILE.
- R07 WOOD HANDRAILS TO REMAIN AS IS (DO NOT PAINT)
- R08 PAINT METAL HANDRAILS PT3
- R09 PAINT METAL STAIR STRINGERS AND RISERS PT5
- R10 PAINT BULKHEADS/COVES (ALL SIDES) PT5
- R11 NOT USED.
- R12 PAINT CEILING RECESS (ALL SIDES) PT5
- R13 PAINT BULKHEAD (ALL SIDES) PT3
- R14 PAINT VESIBULE DRYWALL CEILING (CAP) PT1 ALL SIDES. PAINT MECHANICAL HEATING UNIT TO MATCH
- R15 NEW CARPET INSERT TO BASE OF MILLWORK GATE
- R16 NEW PLASTIC LAMINATE TO BASE OF ROUND COLUMNS (WHERE CARPET BASE WAS REMOVED) TO MATCH COLUMN PLASTIC LAMINATE (MATCH DETAIL SEEN ON ROUND COLUMNS AT PUBLIC SIDE OF RECEPTION DESK)
- R17

Issues/Revisions			
No.	Description	Date	By
1	ISSUED FOR PRICING	26/05/22	

Seal

Permit to Practice

Client

Project

BLACKFALDS CIVIC CENTRE - UPPER LEVEL RENOVATION

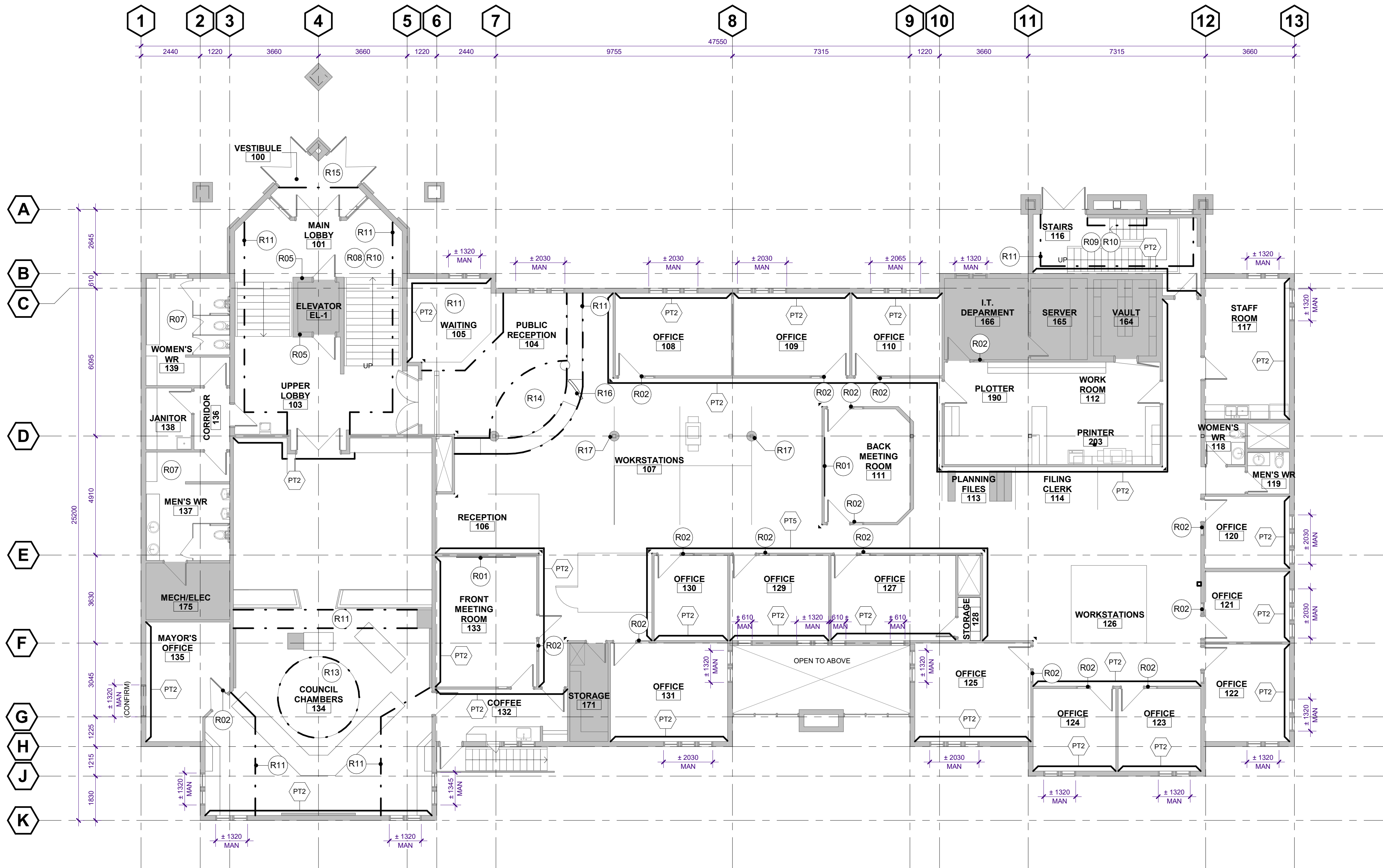
Scale	As indicated	Designed By	DH
Project No.	26002	Drawn By	BM
Start Date	MAY 22, 2026	Checked By	DH

Drawing Title

UPPER LEVEL - WALL & CEILING FINISH PLAN

Drawing No.

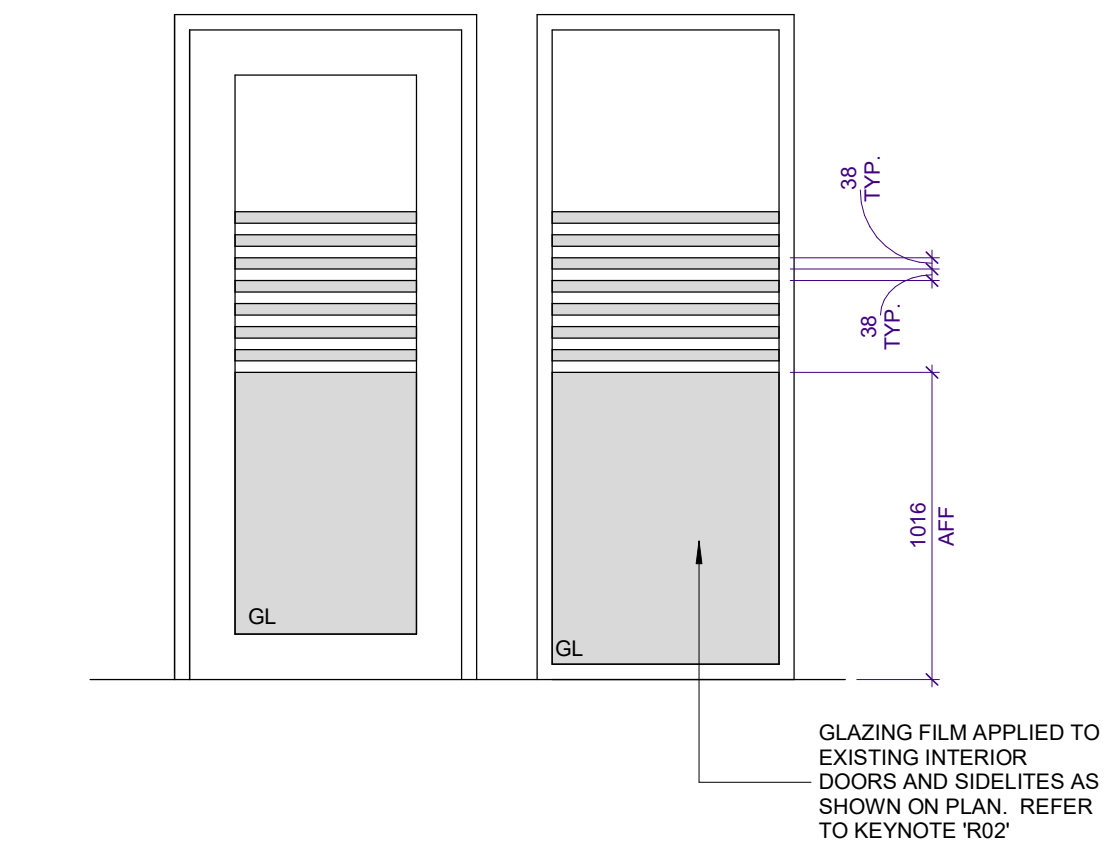
A240



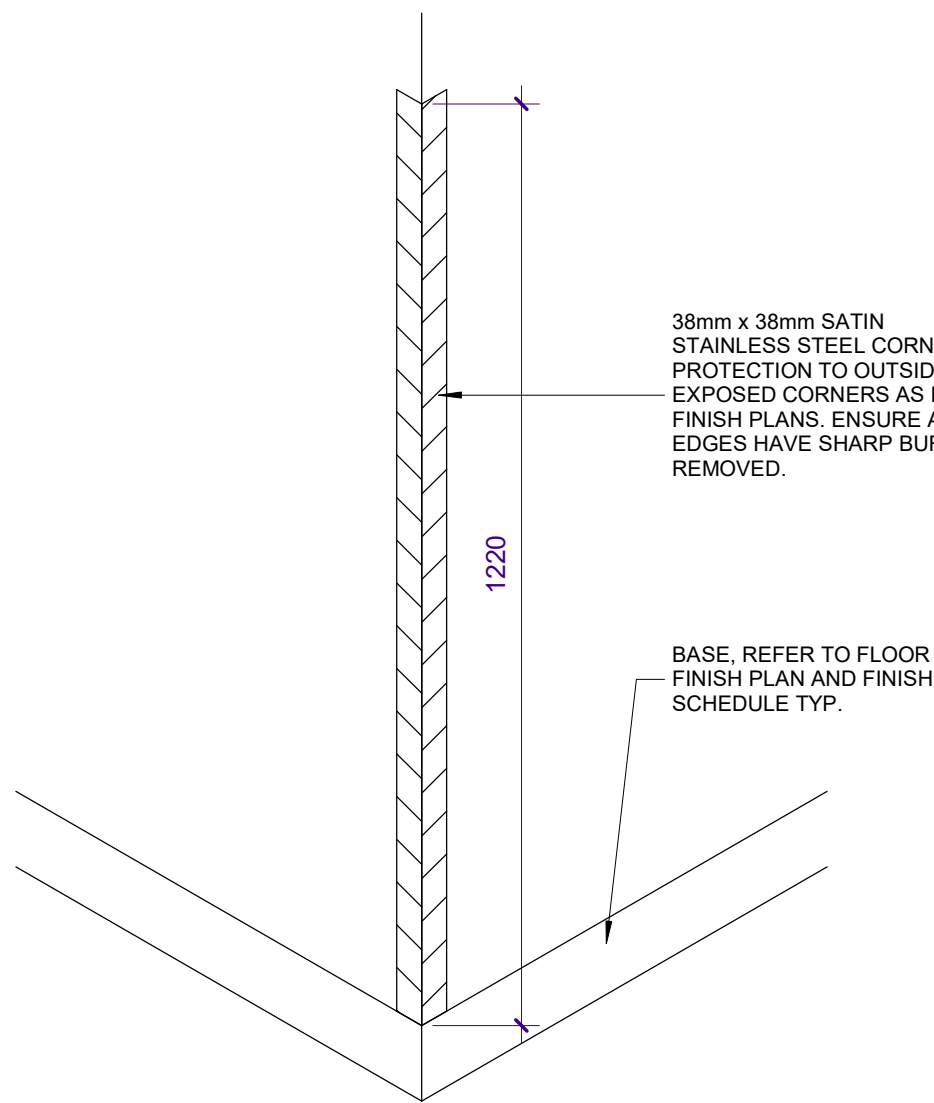
UPPER LEVEL - WALL & CEILING FINISH PLAN

SCALE 1 : 100

PROJECT NORTH

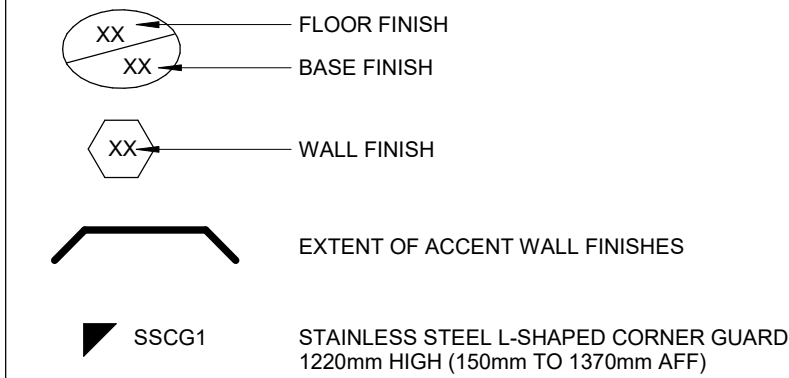


2 INTERIOR GLAZING FILM PATTERN
NTS



3 STAINLESS STEEL CORNER GUARD
SCALE 1 : 10

FINISH PLAN LEGEND



ROLLER SHADE LEGEND

SEE SHEET A240 FOR LOCATIONS

MAN MANUAL ROLLER SHADE. CONTRACTOR TO CONFIRM ALL WINDOW WIDTHS ON SITE PRIOR TO ORDERING.

SPEC: ALTEX - SUN PROJECT, "DEKO S-70" LITE LIFT (MANUAL) ROLLER SHADES WITH ANODIZED CASSETTE. BOTTOM BARS, WITH STAINLESS STEEL CHAINS. FABRIC: TEX SCREEN ECO 1607 SERIES (7% OPEN, COLOR: 07) ROLLER SHADES TO MATCH BASEMENT AS SUPPLIED BY BLIND MAGIC, RED DEER.